

UNIVERSITY OF THE PHILIPPINES MANILA
The Health Sciences Center
8TH Floor PGH Central Block Bldg., Taft Avenue, Manila

REQUEST FOR QUOTATION

The University of the Philippines Manila, through the Campus Planning, Development and Maintenance Office (CPDMO), invites duly licensed contractors and operating under the laws of the Philippines and PhilGEPS registered, to submit quotation for the hereunder contract:

Name of Contract: **EXPANSION AND MODERNIZATION OF PROSTHODONTICS LABORATORY, 3/F College of Dentistry, UPM**
Brief Description: Provision of all materials, labor, tools/equipment and supervision for the completion of the works in accordance with the drawings, scope of works and specifications for the project.
Approved Budget (ABC): **Three Hundred Ninety Seven Thousand Seven Hundred Forty Four Pesos and Six Centavos (Php397,744.06)**
Fund Source: CD-ITF
Contract Duration: Sixty (60) Calendar Days

Bid documents are available for downloading at UPM Procurement under small value procurement. Dropping of sealed quotations using the official UPM-CPDMO Bid Proposal Form together with a valid PhilGEPS Certificate of Registration shall not be later than 03 December 2015, 5:00pm. Opening of quotations will be on 04 December 2015 to be witnessed by the representative of the Internal Audit Office, UP Manila. Representatives of participating bidders may witness the opening.

The University of the Philippines Manila assumes no responsibility whatsoever to compensate or indemnify bidders for any expenses incurred in the preparation of their bids.

UP Manila reserves the right to reject any or all bids, to waive any formality or defects therein, or to accept such bids as may be considered most advantageous to UP Manila.

All inquiries shall be directed to the Campus Planning, Development and Maintenance Office c/o Mr. Emil A. Lorenzo, Jr. at Telephone Numbers 526-8420 or 525-2233.

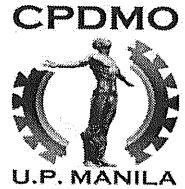
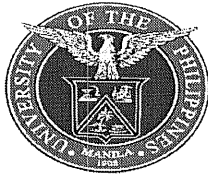
APPROVED BY:


AR. ALLEN R. BUENAVENTURA, MCM
Chief, CPDMO

NOTED:

MICHAEL L. TEE, MD, MHPEd
Vice Chancellor for Planning and Development

Posting for one week starting 26 November 2015
PhilGEPS (<http://www.procurementservice.org>)
UPM Procurement (<http://bidsandawards.upm.edu.ph/inviteslistsmallvalue>)
Bulletin Boards



BILL OF QUANTITIES - BID PROPOSAL FORM

PROJECT TITLE : **EXPANSION AND MODERNIZATION OF PROSTHODONTICS LABORATORY**
 3/F COLLEGE OF DENTISTRY
 UNIVERSITY OF THE PHILIPPINES, MANILA

NAME OF BIDDER : _____

ADDRESS : _____

CONTACT NO(S). : _____

TOTAL LUMP SUM BID : _____ **PhP** _____

| ITEM | QTY. | UNIT(S) | DESCRIPTION(S) | UNIT COST | TOTAL COST |
|-------------------------------------------------|----------------------|---------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------|------------------|
| I GEN. REQ'Ts. / SITEWORKS | | | | | |
| 1.10 | 1.00 | lot | Mobilization / Demobilization Haul Debris / Excess Materials | PhP _____ | PhP _____ |
| | 1.00 | | | Sub-Direct Cost | _____ |
| 1.20 | Temporary Facilities | | Bunkhouse / Warehouse Personal Protective Equipment (Hards hats, Dusk mask, safety gloves, eye protections & other protective equipment) | PhP _____ | PhP _____ |
| | 1.00 | lot | | _____ | _____ |
| | 5.00 | sets | | Sub-Direct Cost | PhP _____ |
| 1.30 | Clearing Works | | Demolition of existing wall, toilet partition, dismantling of toilet fixture, removal of existing floor and wall tiles @ T & B portion ceiling, relocation of overhead cabinets chippings of floor & counter top and other related works. | PhP _____ | PhP _____ |
| | 98.00 | sq.m | | Sub-Direct Cost | PhP _____ |
| Total for General Requirements/Siteworks | | | | | PhP _____ |
| II ARCHITECTURAL AND FINISHING WORKS | | | | | |
| 2.30 | Ceiling Works | | 4.5mm thk. Fiber cement board with 1/8" groove on metal furring, paint finished | PhP _____ | PhP _____ |
| | 17.00 | sq.m | | Material Cost | PhP _____ |
| | | | | Labor Cost @ _____ % | _____ |
| | | | | Sub-Direct Cost | PhP _____ |
| 2.40 | Floor Finishes | | 600mm x 600mm homogeneous Porcelain Tiles, unpolished (floor) | PhP _____ | PhP _____ |
| | 145.00 | pcs. | | _____ | _____ |
| | 278.00 | pcs. | | 300mm x 300mm Homogeneous Porcelain Tiles, polished (counter) | _____ |

| | | | | |
|------|--------|-----------------------|--|--|
| 4.00 | bag(s) | Tile Adhesive (25 kg) | | |
| 6.00 | bag(s) | Tile Grout (5 kg) | | |
| 7.00 | bag(s) | cement | | |
| 0.63 | cu.m | sand | | |

| | | | | | |
|--|------------------------|---|---|--|------------|
| | Material Cost | | | | |
| | Labor Cost | @ | % | | PhP |
| | Sub-Direct Cost | | | | PhP |

| | | | | | |
|------|----------------|-----|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|------------|
| 2.50 | Painting works | | | | |
| | 230.00 | sqm | Interior painting works including walls & ceiling, existing concrete counter doors, existing overhead cabinets, transaction table & doors, lighting coves, doors & windows | PhP | |
| | | | Material Cost | | PhP |
| | | | Labor Cost | % | PhP |
| | | | Sub-Direct Cost | | PhP |

| | | | | | |
|------|-------------------|-----|-------------------------------------------------------------------------------------------------------------------------------------|-----|------------|
| 2.70 | Restoration Works | | | | |
| | 1.00 | lot | Rehabilitation/Restoration of doors & windows including affected concrete counter, ceiling, lights/switches & other affected areas. | PhP | PhP |
| | | | Sub-Direct Cost | | PhP |

| | |
|----------------------------------------------------|------------|
| Total for Architectural and Finishing Works | PhP |
|----------------------------------------------------|------------|

SUMMARY

| | | |
|----|---------------------------------------|------------|
| I | GEN. REQ'Ts / SITEWORKS | PhP |
| II | ARCHITECTURAL AND FINISHING WORKS | PhP |
| | Total Materials and Labor Cost | PhP |
| | Overhead cost | @ |
| | Tax | % |
| | TOTAL PROJECT COST | PhP |

PREPARED BY : _____
 Signature over Printed Name & Position/Designation

_____ Date



CAMPUS PLANNING, DEVELOPMENT & MAINTENANCE OFFICE
UNIVERSITY OF THE PHILIPPINES MANILA
The Health Sciences Center
 P. Faura Street, Ermita, Manila Tel. No. 525-2233 Telefax No. 526-8420



REF. NO. : WD0144APP02172015

PROJECT TITLE : **EXPANSION AND MODERNIZATION OF PROSTHODONTICS LABORATORY**
 College of Dentistry,
 University of the Philippines Manila

SUBJECT : **SCOPE OF WORKS AND SPECIFICATIONS**

Division 1 - General

01000 General Requirements

1. The Contractor shall furnish all materials, equipment, tools, apparatus, appliances, accessories, transportation, labor and supervision required for the complete construction of the subject project, as shown on the drawings and called for in these specifications, ready for use.
2. All Contractors submitting proposal for this project shall first examine the site. All proposals shall take into consideration all such conditions that may affect the work under this contract. The specifications and plans shall form part as one. Anything mentioned on plans and not mentioned on the scope of work and specifications and vice versa shall be properly consulted to the CPDMO Project Architect/Engineer for clarification. Any work or materials not in accordance with the drawings or specifications shall be replaced with new at the Contractor's expense.
3. The Contractor shall coordinate his work with all parties to ensure proper phasing or schedule of works. The Contractor shall engage under him, a registered Engineer or Architect to supervise his work. He shall remain at all times in the construction site.
4. A logbook shall be available at the site. It shall contain the daily activities in the site, including weather condition, delivery, manpower and other matter pertaining to the condition of the project. It will also serve as data for Contractor and the Project Inspector.
5. Identification Card of construction workers and engineer/representative shall be supplied by CPDMO with corresponding fees; it should be worn at all times while inside the building/campus premises. Those without IDs shall not be allowed to enter the premises for security purposes.
6. No alteration or additional work that will result in an additive or deductive cost change from the Contract shall be allowed without the approval of the chancellor.
7. Complete specifications with product sample shall be submitted by the contractor to CPDMO and end-user for evaluation. Inspection of the Project

Architect/Engineer in-charge shall be required prior to installation of any item/material on the construction.

8. Regular coordination meeting shall be conducted with CPDMO, Contractor and End-user for proper project monitoring.
9. Existing condition of the work site shall be documented by the contractor and photos shall be taken before commence of work to ensure such status. Any damage on the areas due to the contractor's on-going work shall be refurbished at his expense.
10. The Contractor shall provide a complete copy of "As built plans" of the project/unit concerned which shall include all the civil, architectural, plumbing, electrical and other related layouts in 20" x 30" original sheets. It should be properly drawn indicating all the specifications, layouts, tables and necessary data. An initial layout should be submitted in a A3 sheet for checking and approval of Project Architect/Engineer. Final "As built plans" shall be submitted with soft and hard copies.
11. After completion of all works, the Contractor shall promptly remove from the premises all rubbish, trash, debris, and all superfluous building materials and restore all areas that were damaged as affected by the construction works and leave the site clean to the satisfaction of the Project Inspector or his representative and End-user.
12. All materials removed from the unit shall be properly documented prior to turn-over to the End-user for proper safe keeping.

01510 Temporary Facilities

- Provide temporary enclosure/canvass on roof areas upon removal of the roofing sheets for building protection. Such coverings shall be adequate enough to cover all the building facilities throughout the span of the project.
- Charges for the restoration or replacement of any damage facility, equipment, material and the like shall be made on the Contractor due to his negligence in providing suitable temporary covering.
- Provide the appropriate scaffoldings, board ups, safety nets and related items to ensure proper installation of all framing system and protection on the area, at the expense of the Contractor as its basic equipment.

Division 2 – Site Construction

02200 Site Preparation

Mobilization / Demobilization

- This work includes mobilization process, provision for warning signs, including barricades, temporary facilities, temporary fences, warning lights and similar safeguards shall be provided by the Contractor as they are required for protection of his manpower and others during the construction life of this project.
- Demobilization procedure shall include clearing of the affected areas from all rubbish, trash, debris, and all superfluous building materials and restore all areas.

that were damaged as affected by the works and leave the site clean to the satisfaction of the Project Inspector or his representative and End-user.

02220 Site Demolition

- This work shall include demolition/dismantling of all existing structures not necessary on the new features of the rooms but shall be coordinated properly with the Project Architect to ensure the effect and safety of such demolition/dismantling with the adjacent and connecting structures.
- All chipping works shall be done manually and with all the considerations on the existing structures and related layouts.
- Restoration and rehabilitation shall be done according for the improvement of the structures.

02230 Site Clearing

- Clear the area from all obstructions or as affected by the construction works, except those structures indicated on the drawings or designated by the Project Architect/Engineer to be left standing. It shall be properly protected from incidental damage due to construction works by the erection of suitable barriers upon approval of the Project Architect/Engineer.

02290 Site Monitoring

- Site monitoring shall be a must to the contractor for the effective implementation of the project. Any discrepancies on plans and actual site conditions shall be properly coordinated with the Project Architect/Engineer concerned for verification.
- Regular coordination meeting shall be done between the contractor or its representative and the Project Architect/Engineer concerned at CPDMO.

02500 Utility Services

Utility Service/Consumption

- Provision of electric and water meter shall be included in the quotation to be charged to the contractor's overhead. All utility consumption shall be provided with meters to limit the usage of such during working period. Payments of bills shall be made thru the Cashiers Office after the renovation period presenting the statement of account issued by Accounting upon recommendation of the Chief of CPDMO.
- Confer to CPDMO Project Architect/Engineer and End-users for any discrepancies on plan and actual condition on site.

Division 9 – Finishes

09500 Ceiling

Scope of Work

- The work covered by this Item shall consists of furnishing ceiling finishes, equipped with fixing accessories in accordance with Plan and/or shop drawings and as herein specified.

Material Requirement

- Use 4.5mm thick acoustic boards with 1/8" groove on metal furring with fixed hanger support; puttied, sanded and ready to receive paint primer coating.
- Gauge # 12 fixed hanger rod, power load, drive pin, 1-1/2" x 1/8" steel angle and accessories. Provide support at a maximum of 1.20 m x 1.20 m spacing both ways.
- Submit sample for approval of design.

Construction Requirements

- Provide all the necessary preparation of ceiling (dismantling of existing ceiling, etc).
- Fixed hanger rod shall be at 1.20 m maximum interval both ways but provide additional hanger and support on critical areas.
- Provide all the necessary accessories and framing for proper installation.
- Ensure adequate hanger and support to all the utilities on the area.
- Restore all affected areas.
- Use approved methodology.

09600 Flooring

Material & Construction Requirement

Materials:

- Use 600mm x 600mm homogeneous porcelain floor and tiles, unpolished or matte, provide warranty certification for anti-stain.
- Use 300mm x 300mm homogeneous porcelain floor and tiles, polished or provide warranty certification for anti-stain.
- Provide tile adhesive, "Power bond", "ABC" or approved equivalent as adhesive.
- Apply the necessary grout "ABC" or approved equivalent.
- Provide the necessary floor topping to level the floor finish.
- Submit sample and layout of tiles for approval of CPDMO Project Architect/Engineer and End-users.

Application:

- Existing floor shall be prepared to level the floor finish with the hallway flooring.
- Provide tiles on the specified areas as per design of CPDMO and End-users.
- Confer to Project Architect all the floor layouts and features of tiles.
- Layout tiles after the surfaces have been prepared for the work. Tiles shall be free from lamination, serrated edges, chipped off corners, and other imperfections affecting their quality appearance and strength. Samples of all tiles shall be submitted to the Project Architect/Engineer and End-users for approval as to color, texture and quality.

09910 Paints and Coatings

Scope of Works

- This Item shall consist of furnishing all paints, enamels, varnishes and other products to be used including labor, tools and equipment required as shown on the Plans and in accordance with this Specification.

Materials Requirements

- Specified materials shall be delivered to the job site bearing manufacturers' name, brand name, type of paint, analysis showing all important constituents of the paint, color of paint and instructions for thinning.
- Specified item and/or its components shall be handled in such manner as to prevent damage. The same shall be properly protected from harmful elements or damage by other work prior to its incorporation into the Project.
- Store materials in a well ventilated space designated for the storage and mixing of paint. Materials delivered to the site shall be properly stored as to minimize exposure to extremes of temperature.

Quality Assurance

- The University reserves the right to subject material samples to test at his expenses. If such material tests do not meet the specified standards, the cost will be charged to the Contractor.
- Number of coats, where specified, is minimum. Contractor shall apply as many as required to meet specifications for solid, uniform appearance. Where film thickness in mils is specified, spot checks will be made to determine compliance with specified thickness.

Submittals

- Submit 2 samples of each and every color or finish (including all coats). Where the same color or finish is to be applied over different materials, samples of each shall be submitted on different materials, where practical.
- Sample size shall be a minimum of 150 mm x 150 mm (6" x 6").

Protection

- Paint materials shall be properly protected from damage, providing for adequate storage space. Take all necessary precautions to prevent fire, such as keeping oily rags in U. L. approved metal containers or removing from building at the end of each day's work.
- All work fittings, furniture, etc., are to be suitably protected during execution of the work. Splashes on floors, walls, etc. are to be removed during progress of work and on the whole, left clean and perfect upon completion.
- No exterior or exposed painting shall be carried out under adverse weather conditions, such as extremes of temperature, during rain, fog, etc., or if there is excessive dust in the air.

Lead Content and Warning Labels

- The material manufacturer shall state the lead content on the label of any paint product container based on metal percentage of total solids.
- The label of any paint product exceeding 0.5% lead content shall include the following statement: "This paint contains more than 0.55 lead content and shall not be used on surfaces accessible to children."

Repair of Defective Work

- All defective or damaged work shall be restored to initial condition.
- All voids, cracks, nicks, etc., will be repaired with proper patching material and finished flush with surrounding surfaces.
- Marred or damaged shop coats on metal shall be spot-primed with appropriate metal primer.

- Defective or damaged items and/or components , which cannot be repaired or restored to initial conditions, shall be removed and replaced to the satisfaction of the Architect at no additional cost to the Owner.

Cleaning

- Upon completion of the building, the Painting Contractor shall remove all paint spots from all finished work, remove all empty cans and leave the entire premises free from rubbish or other debris caused by his work. He shall remove his equipment from the premises. He shall clean off all glass free from paint spots and smears and shall present the work clean and free from all types of blemishes.

Products

General:

- Materials are specified to establish the standards of grade and quality desired for the work, principal pigments and vehicle types and minimum percentage of solids content by volume.
- The top quality / first class paints.
- The products of Manufacturers not named may be submitted for use provided they are equal in quality and grade to the primers and finishes specified as approved by the Architect. If substitute paint products are desired, a statement shall be submitted to the Architect giving the Manufacturers name, proposed primer and finish for each paint system, analysis for each type of paint, and the use or uses intended. Failure to submit such statements will be cause for rejection.
- In cases where the name of a brand or supplier is mentioned under a particular specification, only paint or primer of that manufacturer is acceptable and no substitution shall be permitted on the grounds that the brand specified is not available in the local market. Materials of one manufacturer shall not be applied over that of another, except in the case of shop primer coat.

Color, Gloss and Texture:

- Refer to Finish Schedule. All work is to be completed without deviation from these unless written approval is received from the Architect. No extra cost shall be allowed because of the color variety scheduled.

Execution

General:

- Work-in-place, on which specified work is to be applied, shall be examined to insure that conditions are satisfactory for application of specified materials. Any defect, which may influence satisfactory completion of specified work, shall be report, in writing, to the Architect. Absence of such notification will be construed as acceptance of work-in-place.
- Do not apply exterior paint in damp or rainy weather or until surfaces have thoroughly dried from the effects of such weather.
- Before start of painting, remove finish hardware, accessories, plates, lighting fixtures, and similar items, as approved by the Architect, except UL Labels on Fire Door and Frames, which must not be removed. Use only workmen skilled in the applicable building trade for removal and reinstallation of finished item in-place .
- The following items shall be masked or protected with suitable covering:
 - Sealing, caulking and glazing compounds (unless otherwise directed by the Architect).
 - Glass.
 - Gauges, thermometers and other recording devices.

- Moving parts of machinery and other mechanical equipment - such as: shafts, couplings, valve stems, and the like.
- Coated decorative sheet metal work.

Surfaces Preparation As Applied To Various Substrates

(a) Wood

New Surface:

- Surface to be painted should be clean and dry, free from oil, grease, dust, dirt, contaminants and all loose girt or mortar; sand rough edges remaining, countersink nail heads for putty applications.
- Dust off surfaces completely then wipe with a clean rag.

Repainting:

- Remove scaling, flaking, blistering, and peeling off paint, wire brushing, scraping, or water blasting. Let dry.
- For glossy areas, sand and dust clean.
- In case of mildew infestation, treat with FUNGICIDAL WASH SOLUTION by swabbing or brushing. To ensure proper treatment, allow either solution to remain in surface for 24 hours. Brush off and rinse with water.

(b) Metal

New Surface:

- Surface to be painted should be clean and dry, free from oil, grease, dust, dirt, wax, solder flux, and other contaminants by wiping with mineral spirits or paint thinner.
- Remove rust by wire brushing, sanding or scraping.
- Where maximum performance of protective coatings is necessary (e.g. Industrial Plants), prepare surface by blast cleaning.

Repainting:

- Sand wire brush or scrape rusted metals and apply METAL ETCHING SOLUTION to remove rust. Let it stay for 10 to 15 minutes. Be sure to wash off surface thoroughly with mineral spirits, letting it dry before applying paint. Primer should be applied a few hours after application of metal etching solution before rust sets in.

(c) Concrete

Repainting:

- Remove all loose, scaling, flaking and peeling off paint using PAINT AND VARNISH REMOVER by wire brushing, scraping, or water blasting. Let dry.
- For chalking old paint, use CHALK BLOCKER.
- In case of mildew infestation, treat with fungicidal wash solution or bleach solution (1:3, laundry bleach to water, respectively) by swabbing or brushing.
- To ensure proper treatment, allow to stand on surface overnight before washing off residue. Let dry.

Paint Application

- *General:* Specified work shall be done by skilled painters in a workmanlike manner. All spaces shall be broom-cleaned before painting is started. Surface to be painted shall be clean, dry, smooth and adequately protected from dampness. Each coat of paint shall be allowed to dry at least twenty-four (24) hours.

hours before succeeding coat is applied. Finish work shall be uniform, of approved color, smooth and free from runs, sags, defective coverage, clogging or excessive flooding. If surfaces are not adequately covered, as determined by the CPDMO Architect/Engineers/Inspectors, further coat shall be applied to the satisfaction of the CPDMO Technical Group. Edges of paint adjoining other materials or colors shall be sharp and clean without overlapping.

- *Paint Mixing:* Paint mixing and thinning shall be done only in accordance with directions of Manufacturer. Paint must be strained free from all skin and extraneous substances and shall be thoroughly mixed in a clean container during use.
- *Methods of Application:* Exterior first coats and Interior first coats shall be applied by brush, except on shop-primed surfaces, which shall be applied by brush or roller. All primer shall be applied by brush. Succeeding coats over field-primed surfaces and all coats over shop-primed surfaces may be applied by brush roller or spray. Distemper brushes are to be of approved type and less than 15 cm in width. Rollers for applying enamel shall have a short nap. Spray equipment shall be as recommended by the manufacturer of the paint used. Areas inaccessible to spray painting shall be coated by brushing or suitable method.
- *Coating:* Consecutive coats of paints are to be slightly differing tints except in the case white. Each coat shall be allowed to harden before the next is applied. Rubbing down between coats is to be done with fine abrasive paper.
- *Wood Finishing:* Wood to have natural satin varnish finish shall be stained as required and sealed as soon as such items are delivered to the job site. Seal all ends to exclude moisture. Knotting shall be carried out by using shellac dissolved in spirit or approved ready mixed compound.
- *Defects in Masonry, Concrete, Plaster and Fiber Cement Board:* Small cracks, holes, and other similar imperfections in masonry, concrete and plaster surfaces, which show up after the prime-sealer has been applied to the surface, shall be filled with an approved sparkling compound before application of succeeding coats.
- *Woodwork and Metal Work:* Primed or undercoated woodwork and metalwork shall not be left in an exposed or unsuitable situation for an undue period before completing the painting process. Stopping and filling shall be deemed to be included for all metal works, plaster works, and wood work specified to be used to produce a surface ready for priming and painting.
- *Final Touch-Up:* Upon completion, finish work shall be touched-up and restored where damaged and left in good condition.

Painting Schedule

General:

- Painting Systems shall be applied to surfaces as scheduled. All walls to be painted shall be plastered prior to painting. All under slabs to be painted shall have fair-faced concrete.
- Film Thickness: As recommended by paint manufacturer for the paint specified, includes thickness in mils and number of coats.

16090 Restoration and Repair

- Restoration and repainting of damaged walls, windows, ceiling and exposed conduits shall be the Contractors liability.

NOTE

The foregoing list of item of works does not in anyway limit the responsibility of the Contractor to perform all other works necessary for the completion of the project, Expansion & Modernization of Prosthodontics Laboratory, 3F, College of Dentistry, UP Manila

GUARANTEE


The Contractor shall guarantee all works under this contract to be free from any technical, mechanical and electrical defects and shall replace and repair to the satisfaction of the Project Architect / Engineer and/or to the Chief of CPDMO on any part or portion of the work which may fail within **a period of one (1) year after the final acceptance of the system** provided such failure is due to defects in the material or workmanship.

COMPLETION PERIOD

The Contractor is given **Sixty (60) calendar days** to execute the renovation works including the installation of all system requirements. The Contractor shall coordinate to the CPDMO Inspector and End-users for the schedule of testing of systems and other related job.

Prepared by:


AR. BERNADETTE G. SERVAÑEZ
Draftsman III


MIKHAIL GABRIEL R. TABUCAL
Engineer I, Civil



AR. LEONARD P. CORDERO
Administrative Officer V

Certified Correct:


AR. ALLEN R. BUENAVENTURA, M.C.M.
Chief, CPDMO

Recommending Approval:


VICENTE O. MEDINA III, DDM, PhD
Dean, College of Dentistry


MICHAEL L. TEE, MD, MHPed
Vice Chancellor for Planning and Development

Approved:

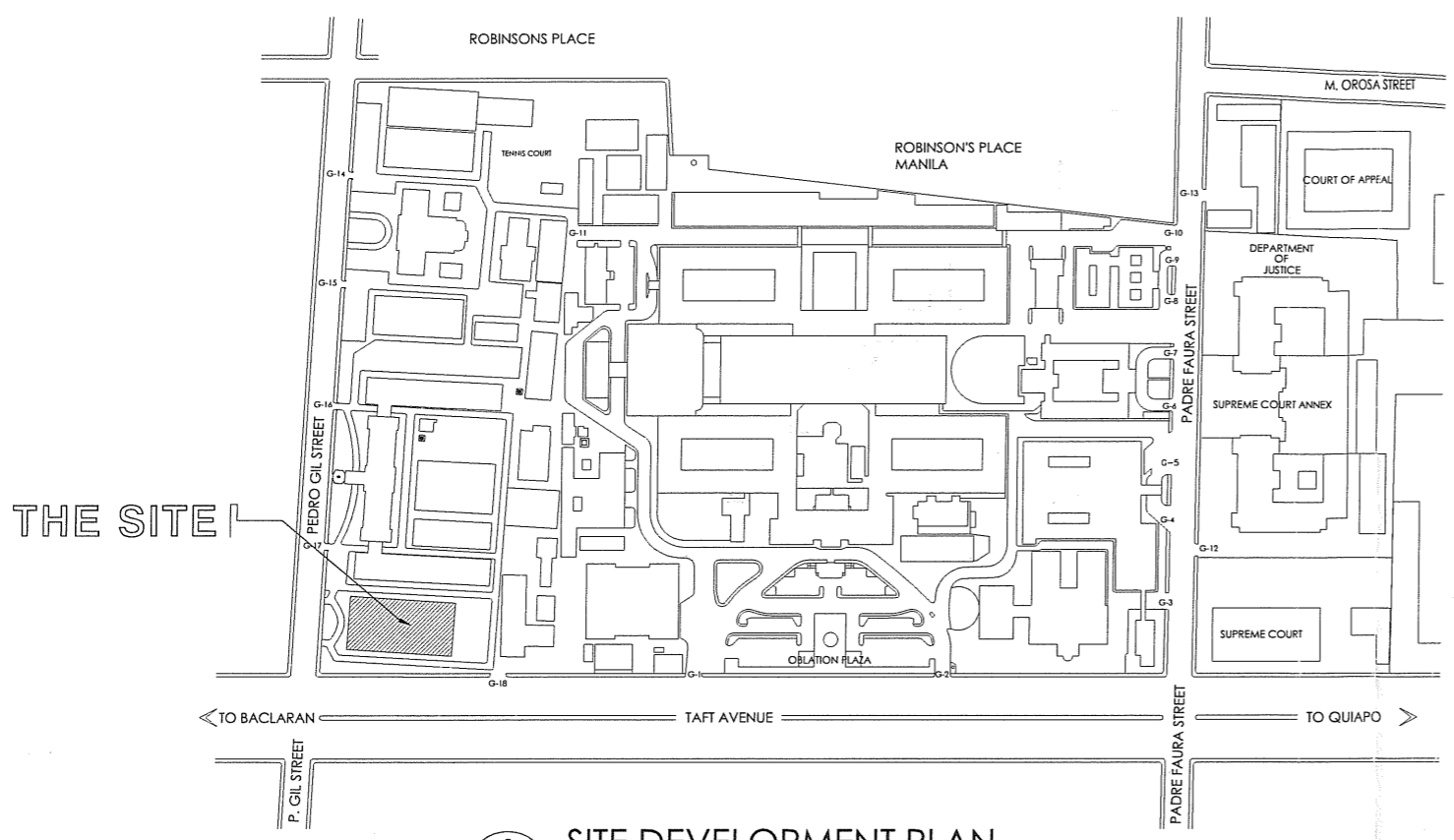

ARLENE A. SAMANIEGO, MD.
Vice Chancellor for Administration

JUN 29 2015

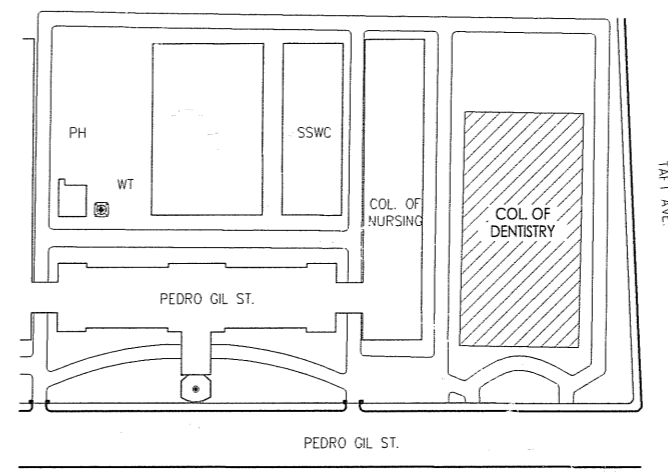
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ARCHITECTURAL PLAN :

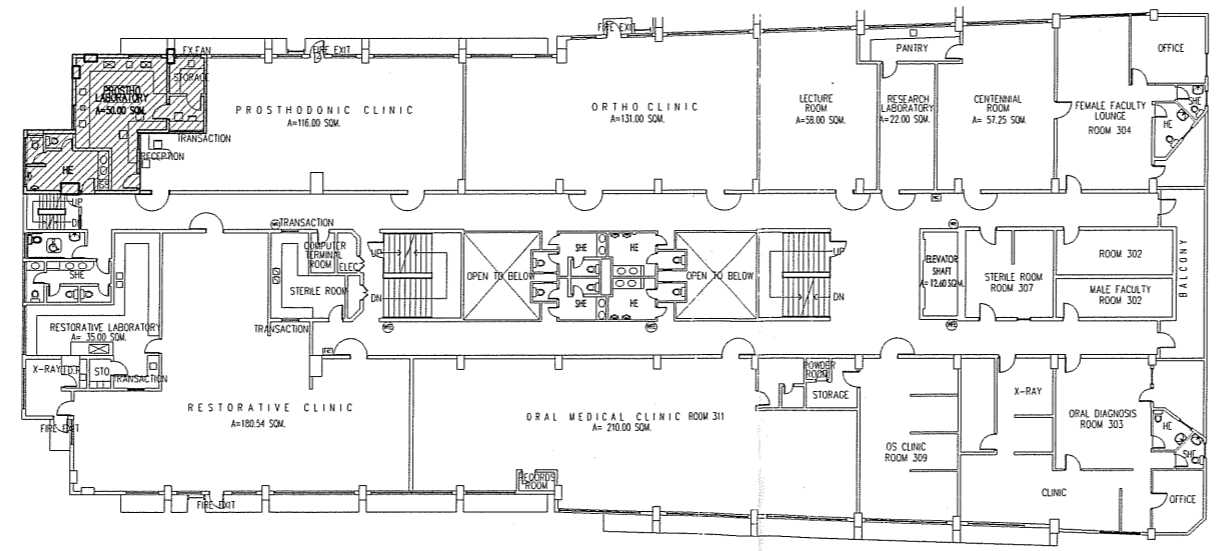
- A-1 :** - SITE DEVELOPMENT PLAN
- LOCATION PLAN
- KEY PLAN
- A-2 :** - PROPOSED FLOOR PLAN
- REFLECTED CEILING PLAN
(DEMOLITION PLAN)
- A-3 :** - SECTION THRU "A"
- SECTION THRU "B"
- A-4 :** - WALL FINISH PLAN
- FLOOR FINISH PLAN
- REFLECTED CEILING PLAN



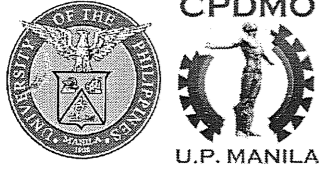
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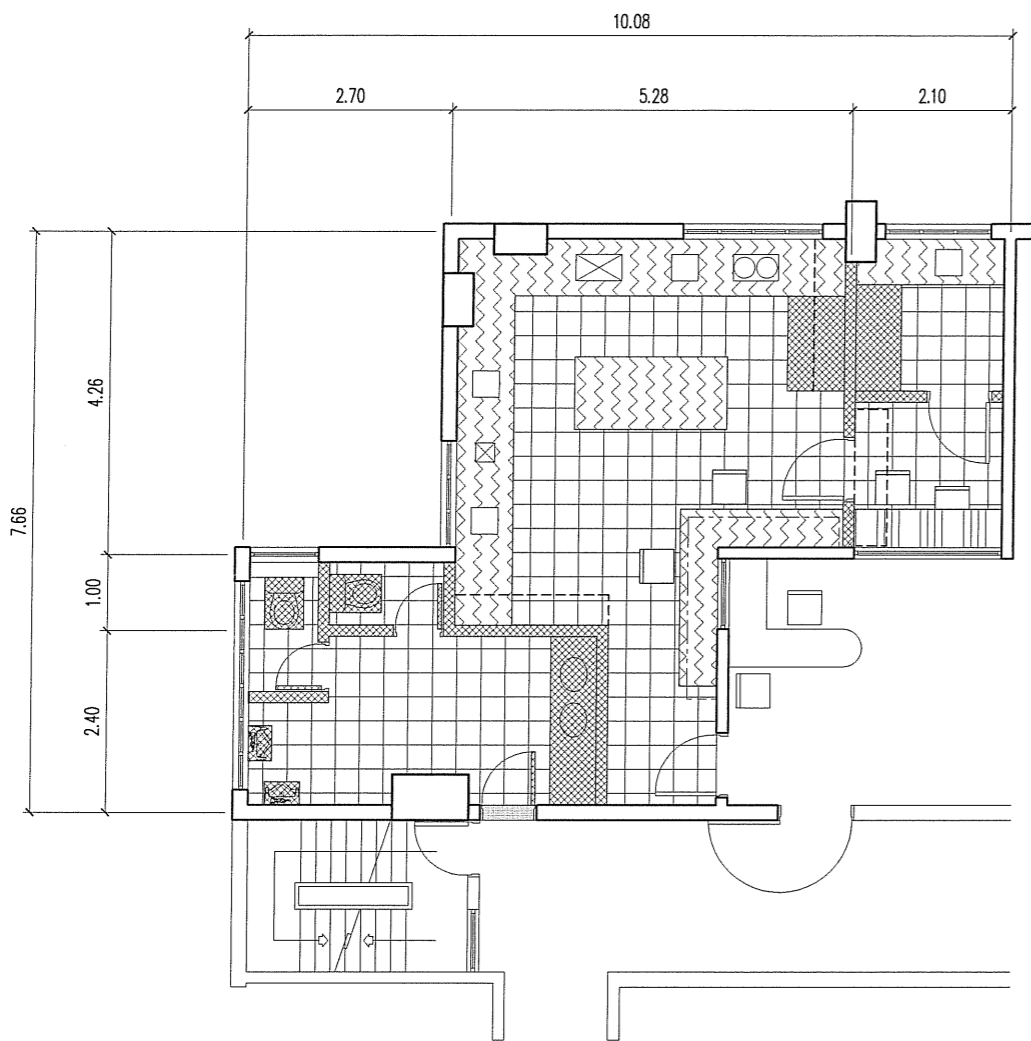


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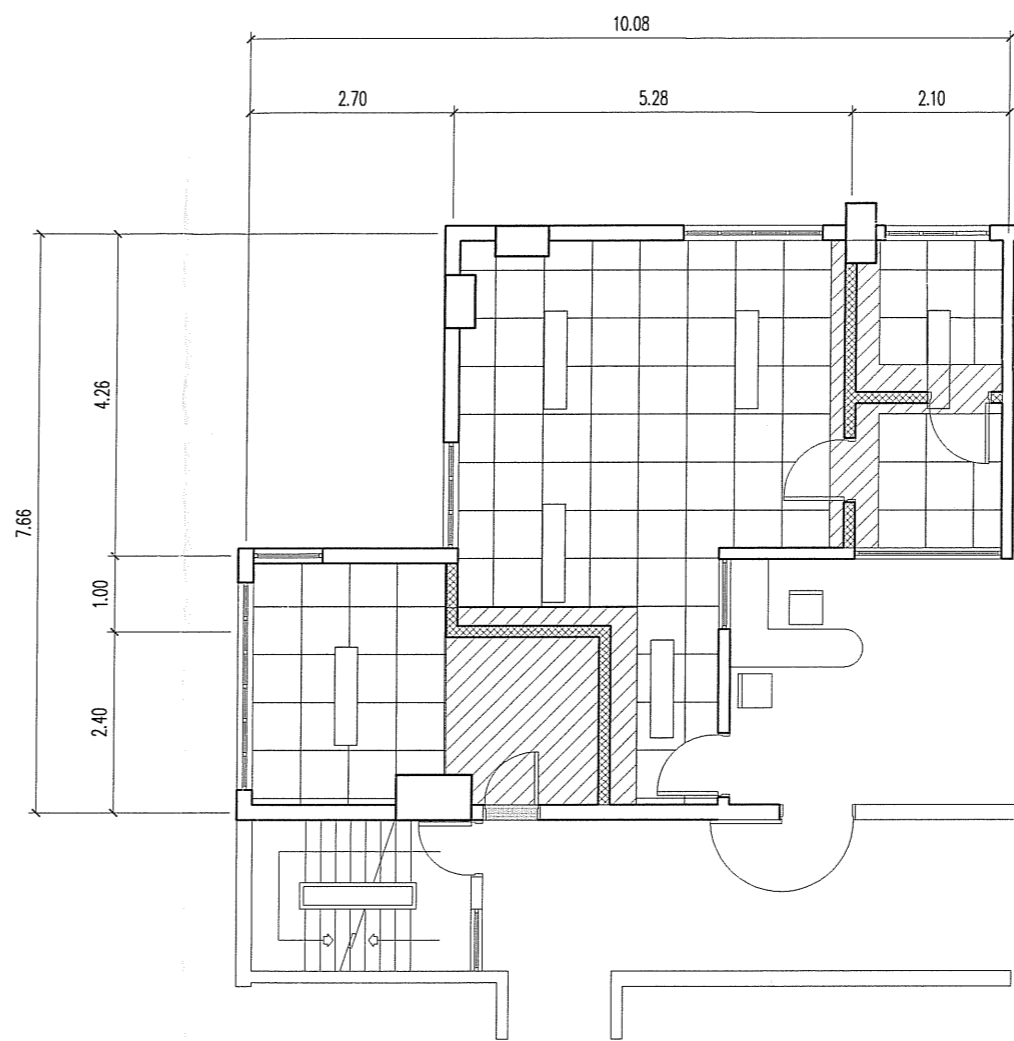


3
A-1 SCALE 1:300 MTS

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|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------|--------------------------------------------|
|  <p>CPDMO CAMPUS PLANNING DEVELOPMENT & MAINTENANCE OFFICE P. Faura Street, Ermita, Manila Tel. No. 525-2233 Telefax No. 526-8420 U.P. MANILA</p> | <p>CERTIFIED CORRECT:</p> <p>AR. ALLEN R. BUENAVENTURA, MCM CHIEF, CPDMO</p> | <p>PROJECT TITLE:</p> <p>EXPANSION AND MODERNIZATION OF PROSTHODONTICS LABORATORY 3RD FLOOR, COLLEGE OF DENTISTRY UNIVERSITY OF THE PHILIPPINES MANILA</p> | <p>RECOMMENDING APPROVAL:</p> <p>VICENETE O. MEDINA III, DDM, PhD DEAN, COLLEGE OF DENTISTRY</p> | <p>APPROVED:</p> <p>ARLENE A. SAMANIEGO, MD VICE CHANCELLOR FOR PLANNING & DEVELOPMENT JUN 29 2015</p> | <p>SHEET CONTENT:</p> <p>SITE DEVELOPMENT PLAN LOCATION PLAN KEY PLAN</p> | <p>DATE ISSUED:</p> <p>DATE COMPLETED:</p> <p>REVISION NO.:</p> <p>REF. NO.:</p> <p>WDO144APP02172015</p> <p>CADD FILE:</p> | <p>SHEET NO.:</p> <p>A-1</p> <p>1 OF 5</p> |
| | <p>PREPARED BY:</p> <p>AR. BERNADETTE SERVANEZ DRAFTSMAN III</p> <p>AR. LEONARD P. CORDERO ADMINISTRATIVE OFFICER V</p> <p>CADD BY: CHRISTIAN N. CABRAL</p> | <p>RA 9266 : THIS DRAWING AS AN INSTRUMENT OF SERVICE IS THE PROPERTY OF CPDMO UP MANILA AND SUCH MUST NOT BE REPRODUCED OR COPIED IN OR IN WHOLE WITHOUT PERMISSION.</p> | | | | | |



1 EXISTING FLOOR PLAN
A-2 SCALE 1:100 MTS

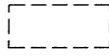



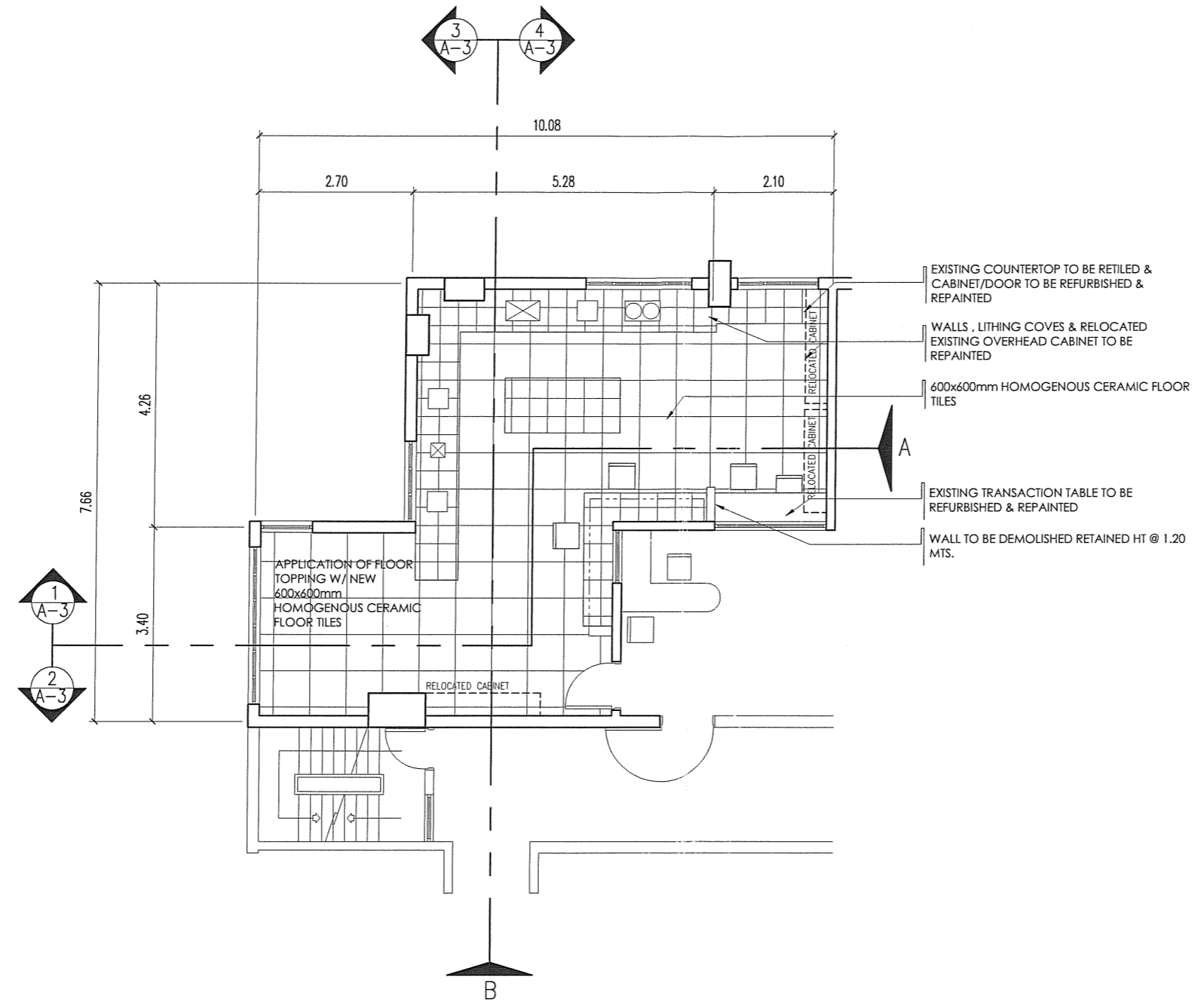
2 REFLECTED CEILING PLAN
A-2 SCALE 1:100 MTS

DEMOLITION PLAN

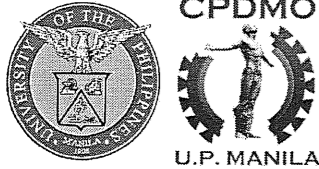

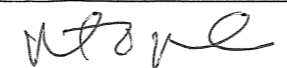

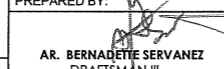

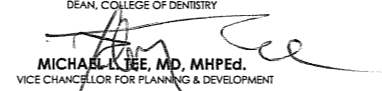
| LEGEND | SPECIFICATION |
|--------|----------------------------------------------------------------------------------------|
| | EXISTING CHB WALL, TOILET PARTITION, COUNTER TOP AND TOILET FIXTURES TO BE DEMOLISHED. |
| | EXISTING WALL TO BE REPAINTED |
| | DOOR OPENING TO BE ENCLOSED |
| | EXISTING FLOOR & WALL TILES TO BE REMOVED |
| | EXISTING COUNTERTOP TILES TO BE REPLACED |
| | EXISTING COUNTERTOP TILES TO BE REPLACED |
| | EXISTING OVERHEAD CABINET TO BE RELOCATED AND REPAINTED |
| | EXISTING OVERHEAD CABINET TO BE RETAINED AND REPAINTED |
| | EXISTING CEILING TO BE DISMANTLED |
| | EXISTING CEILING TO BE RETAINED/REPAIRED & REPAINTED |

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| | <p>PREPARED BY:</p> <p><i>AR. BERNADETTE SERVANEZ</i> AR. BERNADETTE SERVANEZ DRAFTSMAN III</p> <p><i>AR. LEONARD P. CORDERO</i> AR. LEONARD P. CORDERO ADMINISTRATIVE OFFICER V</p> <p>CADD BY: CHRISTIAN N. CABRAL</p> | <p>RA 9266 : THIS DRAWING AS AN INSTRUMENT OF SERVICE IS THE PROPERTY OF CPDMO UP MANILA AND SUCH MUST NOT BE REPRODUCED OR COPIED IN OR IN WHOLE WITHOUT PERMISSION.</p> | | | | | |

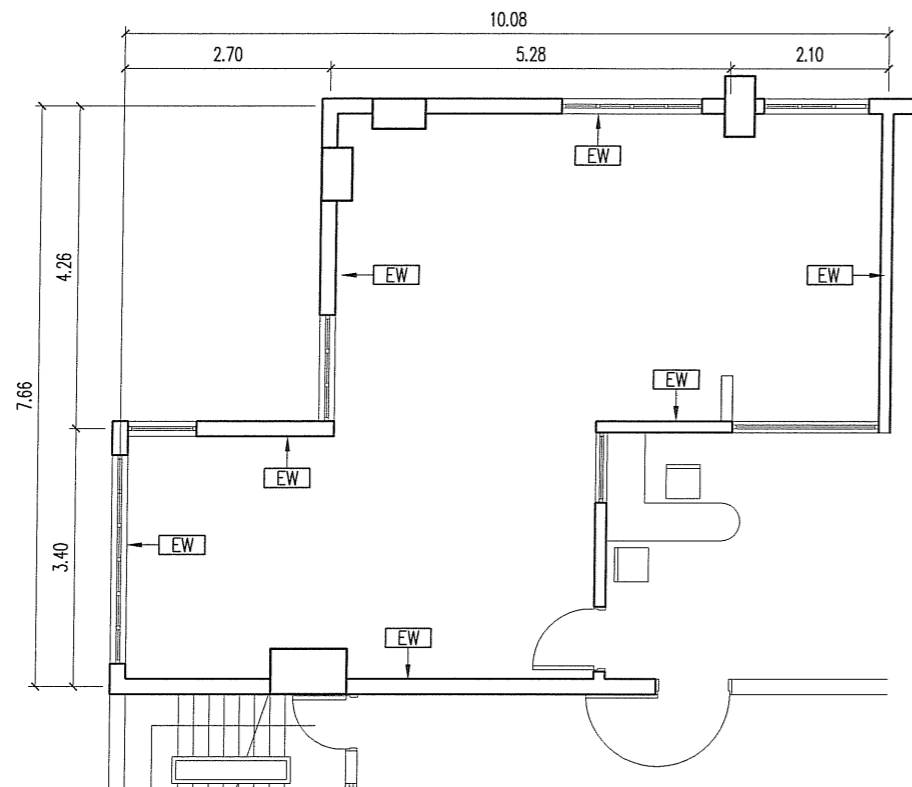
| LEGEND | SPECIFICATION |
|-------------------------------------------------------------------------------------|---------------------------------------------------------|
|  | EXISTING OVERHEAD CABINET TO BE RELOCATED AND REPAINTED |
|  | EXISTING OVERHEAD CABINET TO BE RETAINED AND REPAINTED |



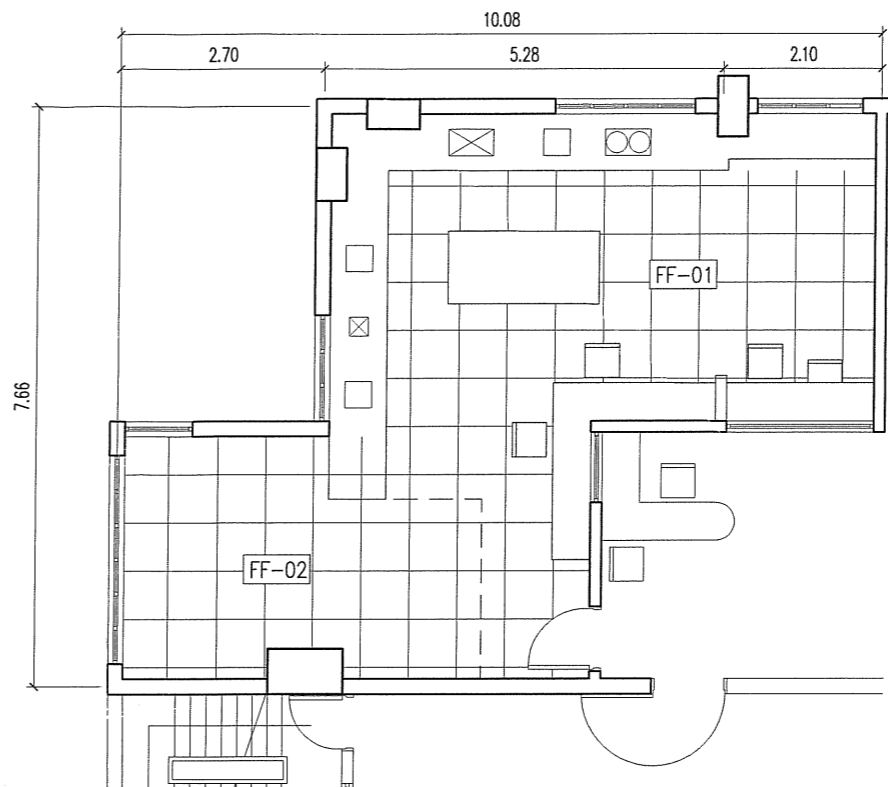
1 PROPOSED FLOOR PLAN
 A-3 SCALE 1:100 MTS

| | | | | | | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------|--------------------------------------------------------------------------------------------------|------------------------------------|
|  <p>CPDMO CAMPUS PLANNING & MAINTENANCE OFFICE P. Faura Street, Ermita, Manila Tel. No. 525-2233 Telefax No. 526-8420 U.P. MANILA</p> | CERTIFIED CORRECT:  AR. ALLEN R. BUENAVENTURA, MCM CHIEF, CPDMO | PROJECT TITLE: EXPANSION AND MODERNIZATION OF PROSTHODONTICS LABORATORY 3RD FLOOR, COLLEGE OF DENTISTRY UNIVERSITY OF THE PHILIPPINES MANILA | RECOMMENDING APPROVAL:  VICENETE O. MEDINA III, DDM, PhD DEAN, COLLEGE OF DENTISTRY | APPROVED:  ARLENE A. SAMANIEGO, MD. VICE CHANCELLOR FOR ADMINISTRATION | SHEET CONTENT: PROPOSED FLOOR PLAN | DATE ISSUED: DATE COMPLETED: REVISION NO.: REF. NO.: WD0144APP02172015 CADD FILE: | SHEET NO.: A-3 3 OF 5 |
| | PREPARED BY:  AR. BERNADETTE SERVANEZ DRAFTSMAN III |  AR. LEONARD P. CORDERO ADMINISTRATIVE OFFICER V | CADD BY: CHRISTIAN N. CABRAL |  MICHAEL L. JEE, MD, MHPed. VICE CHANCELLOR FOR PLANNING & DEVELOPMENT | | | |

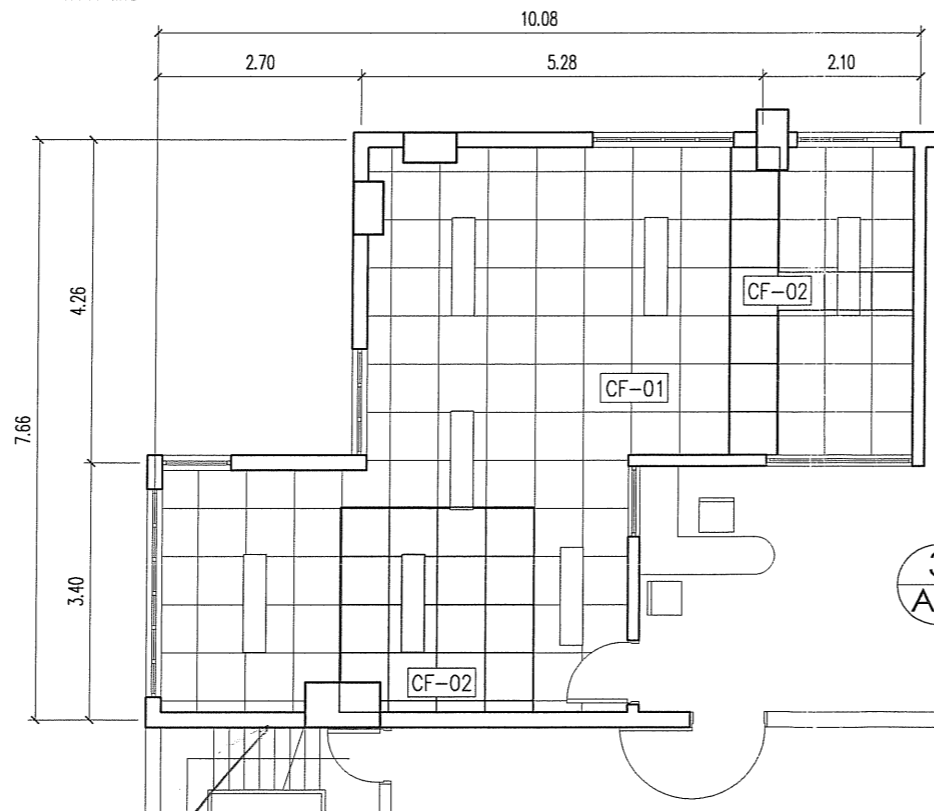
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1 WALL FINISH PLAN
A-4 SCALE 1:100 MTS

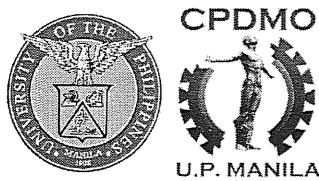


2 FLOOR FINISH PLAN
A-4 SCALE 1:100 MTS



3 REFLECTED CEILING PLAN
A-4 SCALE 1:100 MTS

| WALL FINISH PLAN : | |
|-----------------------|-------------------------------------------------------------------------------------|
| LEGEND | SPECIFICATION |
| EW | EXISTING CHB WALL TO BE REPAIRED AND REPAINTED. |
| FLOOR FINISH PLAN : | |
| LEGEND | SPECIFICATION |
| FF-01 | 600x600mm HOMOGENOUS CERAMIC FLOOR TILES |
| FF-02 | APPLICATION OF FLOOR CONC. TOPPINGS W/ NEW 600x600mm HOMOGENOUS CERAMIC FLOOR TILES |
| CEILING FINISH PLAN : | |
| LEGEND | SPECIFICATION |
| CF-01 | EXISTING CEILING |
| CF-02 | 6mm THK. FIBER CEMENT BOARD ON METAL FURRING, PAINTED |
| | FLUORESCENT LIGHT |



CAMPUS PLANNING DEVELOPMENT & MAINTENANCE OFFICE
P. Faura Street, Ermita, Manila
Tel. No. 525-2233
Telefax No. 526-8420

CERTIFIED CORRECT :
AR. ALLEN R. BUENAVENTURA, MCM
CHIEF, CPDMO
PREPARED BY:
AR. BERNADETTE SERVANEZ
DRAFTSMAN III
AR. LEONARD P. CORDERO
ADMINISTRATIVE OFFICER V
CADD BY: CHRISTIAN N. CABRAL

PROJECT TITLE:
EXPANSION AND MODERNIZATION OF PROSTHODONTICS LABORATORY
3RD FLOOR, COLLEGE OF DENTISTRY
UNIVERSITY OF THE PHILIPPINES MANILA

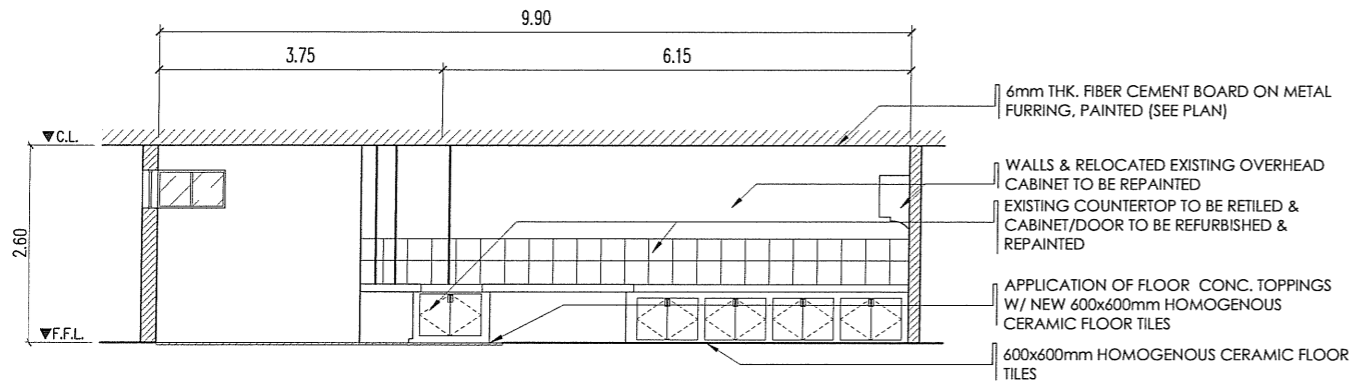
RECOMMENDING APPROVAL:
VICENETE O. MEDINA III, DDM, PhD
DEAN, COLLEGE OF DENTISTRY
MICHAEL L. TEE, MD, MHPed.
VICE CHANCELLOR FOR PLANNING & DEVELOPMENT

APPROVED:
ARLENE A. SAMANIEGO, MD.
VICE CHANCELLOR FOR ADMINISTRATION
JUN 29 2015

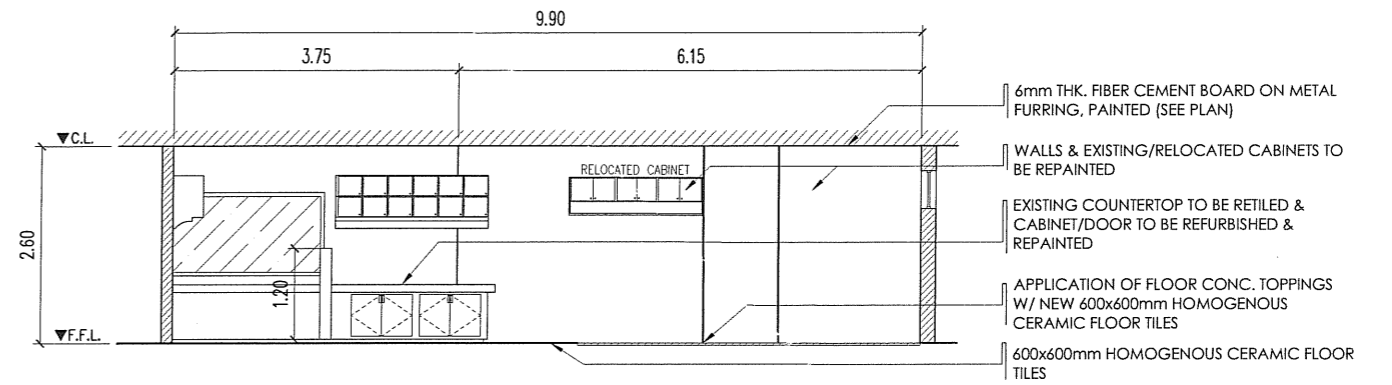
SHEET CONTENT:
WALL FINISH PLAN
FLOOR FINISH PLAN
REFLECTED CEILING PLAN

DATE ISSUED:
DATE COMPLETED:
REVISION NO.:
REF. NO.:
WD0144APP02172015
CADD FILE:
SHEET NO.:
A-4
4 OF 5

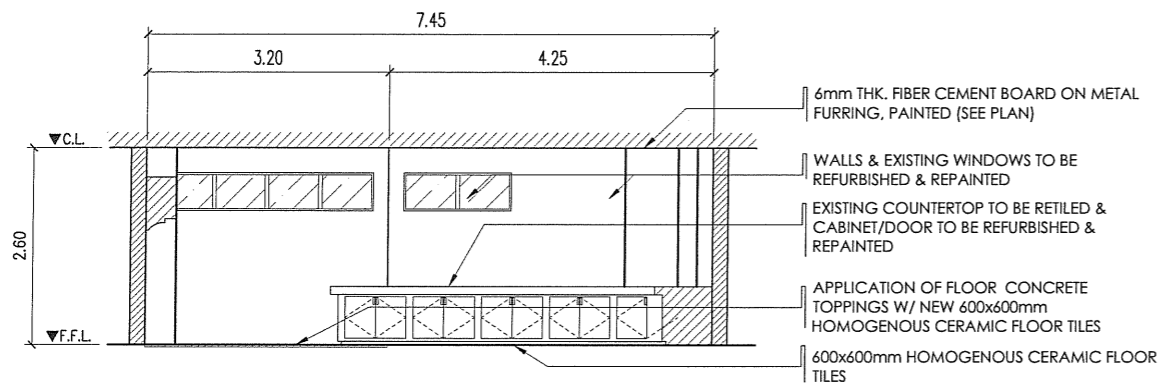
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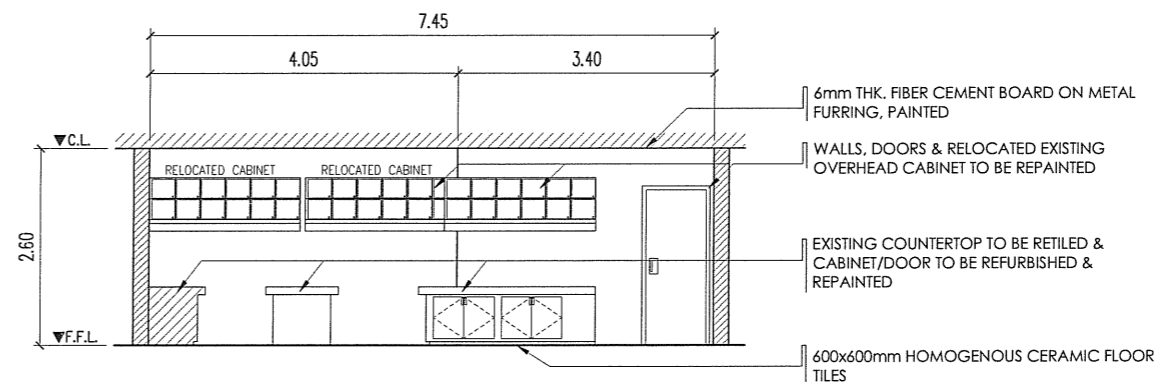
1 SECTION THRU "A"
A-3 SCALE 1:100 MTS



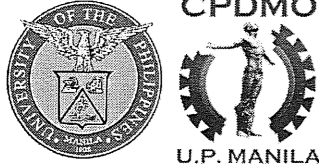
2 SECTION THRU "A"
A-3 SCALE 1:100 MTS



3 SECTION THRU "B"
A-3 SCALE 1:100 MTS



4 SECTION THRU "B"
A-3 SCALE 1:100 MTS

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| | <p>PREPARED BY:</p> <p>AR. BERNADETTE SERVANEZ DRAFTSMAN III</p> <p>AR. LEONARD P. CORDERO ADMINISTRATIVE OFFICER V</p> <p>CADD BY: CHRISTIAN N. CABRAL</p> | <p>RA 9266 : THIS DRAWING AS AN INSTRUMENT OF SERVICE IS THE PROPERTY OF CPDMO UP MANILA AND SUCH MUST NOT BE REPRODUCED OR COPIED IN OR IN WHOLE WITHOUT PERMISSION.</p> | | | | | |